

**BK/PG: 9514/924-931  
24019569**

<b>8 PGS : RESTRICTIONS</b>	
<b>JESSICA SWEENEY 993625 - 24019569</b>	
<b>07/03/2024 - 11:47:50 AM</b>	
<b>MORTGAGE TAX</b>	<b>0.00</b>
<b>TRANSFER TAX</b>	<b>0.00</b>
<b>RECORDING FEE</b>	<b>40.00</b>
<b>DP FEE</b>	<b>2.00</b>
<b>REGISTER'S FEE</b>	<b>0.00</b>
<b>TOTAL AMOUNT</b>	<b>42.00</b>

THIS INSTRUMENT PREPARED BY:  
J. Trent Lehman  
1646 Westgate Circle, Suite 102  
Brentwood, TN 37027

STATE OF TENNESSEE, WILLIAMSON COUNTY  
**SHERRY ANDERSON**  
REGISTER OF DEEDS

**SECOND AMENDMENT TO THE DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS AND BYLAWS  
FOR THE FIELDS AT REESE FARMS AND TOWNHOMES OF THE FIELDS  
AT REESE FARMS**

The Declarant, Barlow Builders, LLC and JGL, LLC, owners of all the Lots and Common Area of the Fields at Reese Farms, as shown on Plat Book 81, page 110, Register's Office for Williamson County, Tennessee (collectively the "Declarant"), for the purpose of amending the Declaration of Covenants Conditions and Restrictions ("Declaration") do declare as follows:

**WITNESSETH:**

**WHEREAS**, the Declarant heretofore submitted a certain tract or parcel of land, the "Property", in Williamson County, Tennessee, to certain covenants and conditions, of record in Book 8378, page 693, and amended in Book 9511, page 926 in said Register's Office, the "Declaration";

**WHEREAS**, the pursuant to Article XV, Section 3 and Paragraph 18 of the Townhomes of the Declaration, the Declarant has the unilateral right to amend the Declaration:

**NOW THEREFORE**, Declarant, hereby amends Declaration of Covenants, Conditions and Restrictions as follows:

Exhibit B2 is hereby deleted and replaced with the attached Exhibit B2

All other terms, conditions and restrictions referenced hereinabove not specifically amended by this amendment shall remain undisturbed and in full force and effect.

*Remainder of page left intentionally blank, signatures follow*

IN WITNESS WHEREOF, the undersigned has executed this Declaration this July \_\_\_\_, 2024.

Declarant herein, have executed this instrument and affixed the corporate seal this July 2, 2024

Reese Farms, LLC (Declarant)

By: B-B-S

Bryan B. Solomon

Its: Authorized Agent

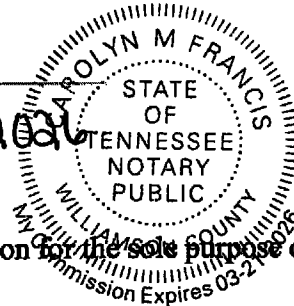
STATE OF TENNESSEE  
COUNTY OF WILLIAMSON

Before me, the undersigned Notary Public, of the state and county mentioned, personally appeared Bryan B. Solomon, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be Authorized Agent of Reese Farms, LLC the within named bargainor, a corporation, and that he as such Authorized Agent executed the foregoing instrument for the purpose therein contained, by personally signing the name of the corporation as such Officer.

Witness my hand and seal this ~~June~~ <sup>July</sup> 2, 2024.

Carolyn M Francis  
Notary

My commission expires: 3/21/2026



Barlow Builders, LLC and JGL, LLC hereby join in this Declaration for the sole purpose of submitting the following lots to this Declaration and Bylaws:

Being all of Lots 109, 110, 112, 113, 114, 121, 122, 123, 124 & 125 on the Plan of the Fields at Reese Farm PUD Subdivision, Section I, Final Subdivision Plat, of record in Plat Book P81, page 110, Register's Office for Williamson County, Tennessee.

Barlow Builders, LLC

B-B-S

By: Bryan B. Solomon

Its: CFO

JGL, LLC

J. Trent Lehman

By: J. Trent Lehman

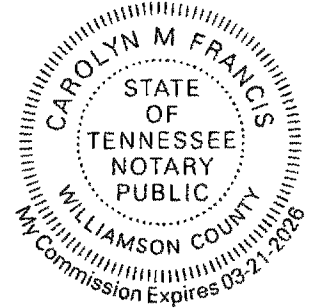
Its: Authorized Agent

STATE OF TENNESSEE  
COUNTY OF WILLIAMSON

Before me, the undersigned Notary Public, of the state and county mentioned, personally appeared Bryan B. Solomon, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be CFO of Barlow Builders, LLC the within named bargainor, a corporation, and that he as such CFO executed the foregoing instrument for the purpose therein contained, by personally signing the name of the corporation as such Officer.

Witness my hand and seal this ~~June~~ <sup>July</sup> 2, 2024.

Carolyn M Francis  
Notary  
My commission expires: 3/21/2026

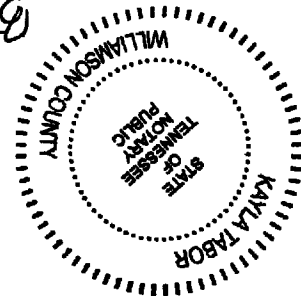


STATE OF TENNESSEE  
COUNTY OF WILLIAMSON

Before me, the undersigned Notary Public, of the state and county mentioned, personally appeared J. Trent Lehman, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be Authorized Agent of JGL, LLC the within named bargainor, a corporation, and that he as such Authorized Agent executed the foregoing instrument for the purpose therein contained, by personally signing the name of the corporation as such Officer.

Witness my hand and seal this ~~June~~ <sup>July</sup> 2, 2024.

[Signature]  
Notary  
My commission expires: 3/28/20



## EXHIBIT B2

# SITE PLAN FOR TOWNHOUSE PROPERTY REESE FARMS TOWNHOMES

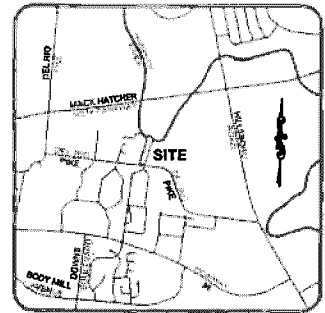
**DEED REFERENCE**

BEING THE SAME PROPERTY CONVEYED TO REESE FARMS  
SUBDIVISION, LLC BY WARRANTY DEED IN DEED BOOK 9045, PAGE 596,  
IN THE REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**PLAT REFERENCE**





LAND IN WILLIAMSON COUNTY, TENNESSEE BEING ALL OF PHASE IN THE  
FINAL SUBDIVISION PLAT AS SHOWN ON PLAT BOOK P81, PAGE 110  
IN THE REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**CONTAINING 52916 SQUARE FEET OR  
1.21 ACRES MORE OR LESS**



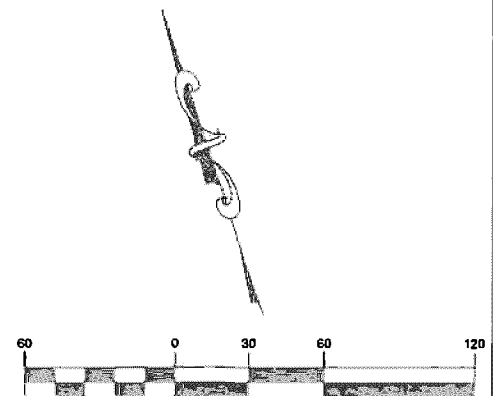
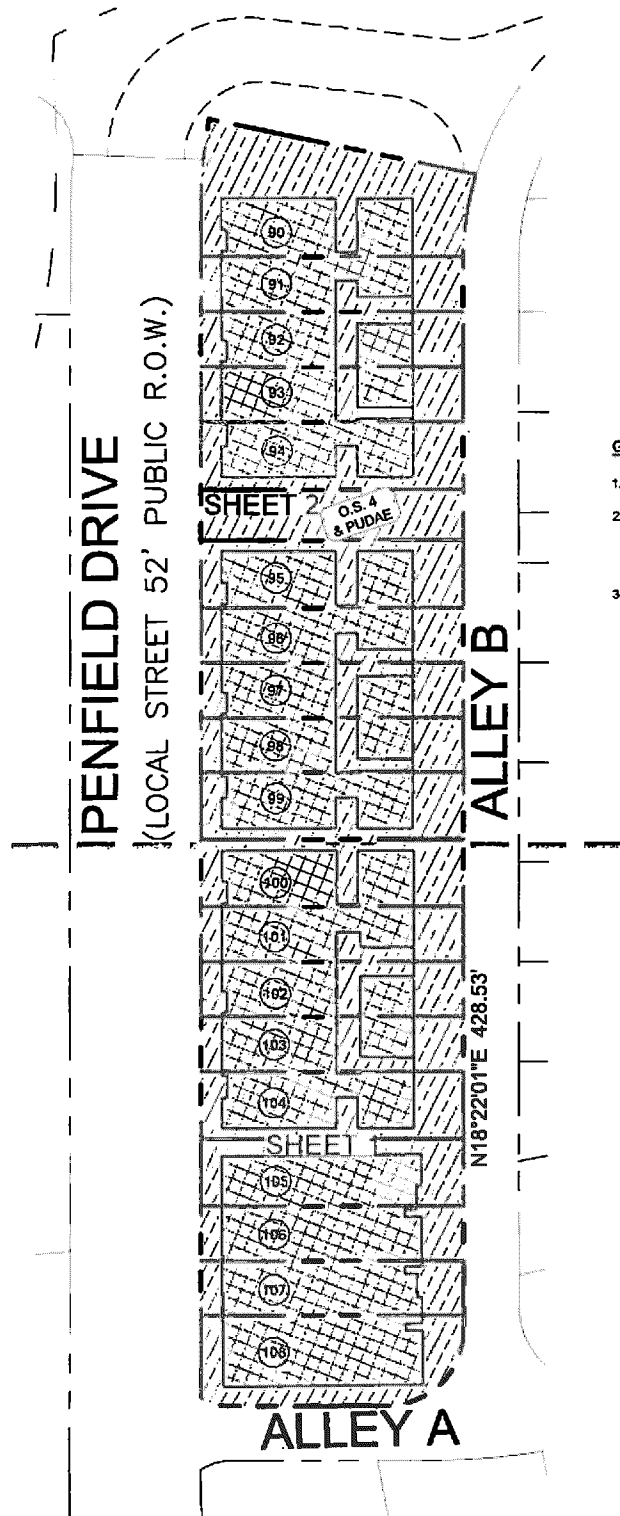
VICINITY MAP  
NOT TO SCALE

**LEGEND**

-  TOWNHOME UNIT
-  PUBLIC RIGHT OF WAY
-  PRIVATE ELEMENT
-  IRON PIN SET

**GENERAL NOTES:**

1. BEARING SHOWN HEREON ARE BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83).
2. SUBJECT PROPERTY IS PRESENTLY IDENTIFIED AS A PORTION OF PARCEL 1.03, ON WILLIAMSON COUNTY TAX MAP 63. SAID PARCEL IS FURTHER IDENTIFIED AS A PORTION OF THE PROPERTY DESCRIBED IN DEED BOOK 9045, PAGE 596, REGISTER'S OFFICE OF WILLIAMSON COUNTY, TENNESSEE.
3. THE FIRST SHEET OF THIS EXHIBIT WILL BE STAMPED & SIGNED BY THIS SURVEYOR. EACH ADDITIONAL SHEET WILL ONLY BE SIGNED BY THIS SURVEYOR.



GRAPHIC SCALE: 1" = 60'



**WILSON & ASSOCIATES, P.C.**  
Engineering/Surveying/Environmental

# **SITE PLAN FOR TOWNHOUSE PROPERTY REESE FARMS TOWNHOMES**

## **LEGEND**



TOWNHOME UNIT



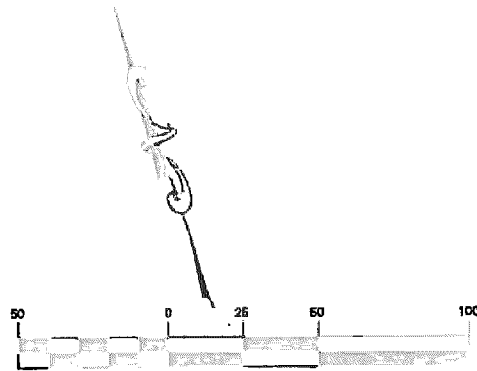
PUBLIC RIGHT OF WAY



PRIVATE ELEMENT



IRON PIN SET

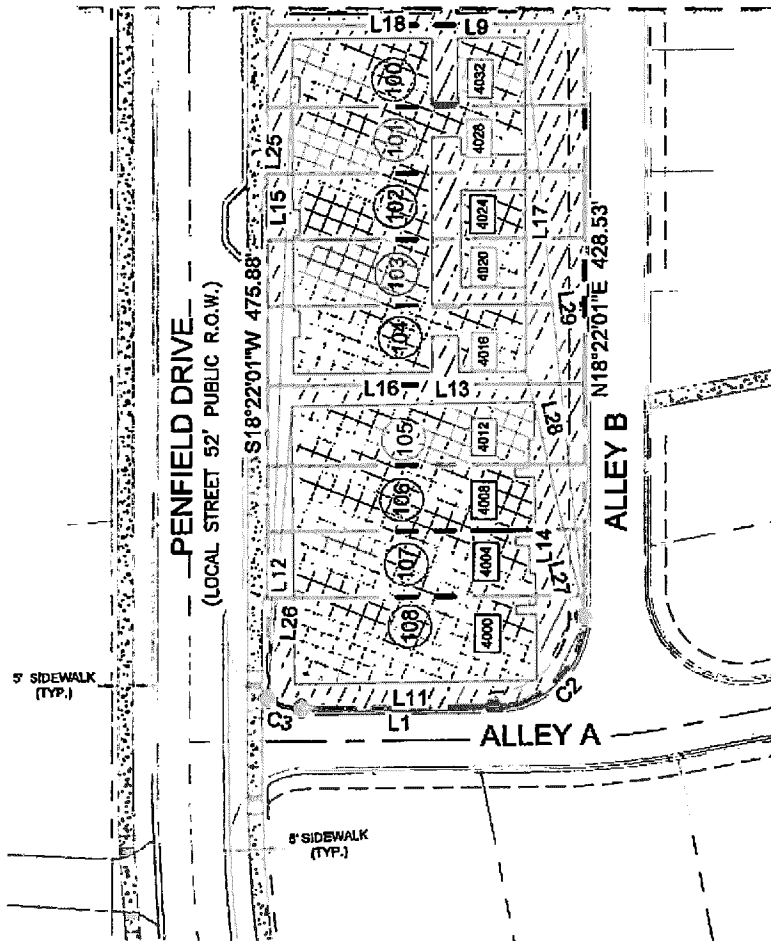


GRAPHIC SCALE: 1" = 50'

**Parcel Line Table**

Line #	Length	Direction
L1	63.50'	N71°38'03"W
L9	22.34'	N71°38'01"W
L11	79.91'	N72°04'32"W
L12	92.98'	N17°53'08"E
L13	79.33'	S72°09'13"E
L14	9.38'	S17°53'08"W
L15	35.43'	N18°21'59"E
L16	45.76'	N71°38'58"W
L17	111.32'	S18°21'59"W
L18	45.76'	S71°37'04"E
L25	220.27'	N20°35'00"E
L26	98.09'	N23°10'48"E
L27	84.55'	N4°50'07"E
L28	73.91'	N5°07'35"E
L29	194.13'	N12°29'10"E

**SEE SHEET 3**



**Curve Table**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	45.70'	31.06'	86° 09' 10"	S63° 21' 59"W	42.43'
C3	12.12'	23.07'	30° 06' 19"	N55° 16' 51"W	11.99'

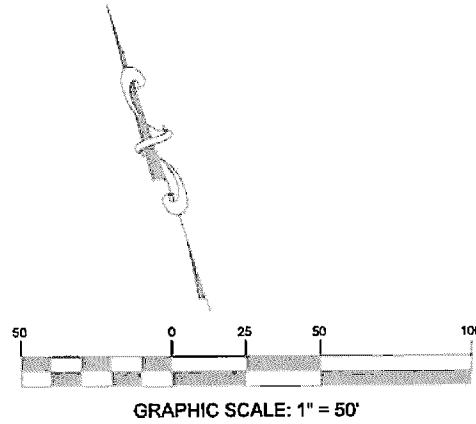
JOEY C. WILSON II,  
TN RLS NO. 2089

**WILSON & ASSOCIATES, P.C.**  
Engineering/Surveying/Environmental





WA PROJECT NO. 11318

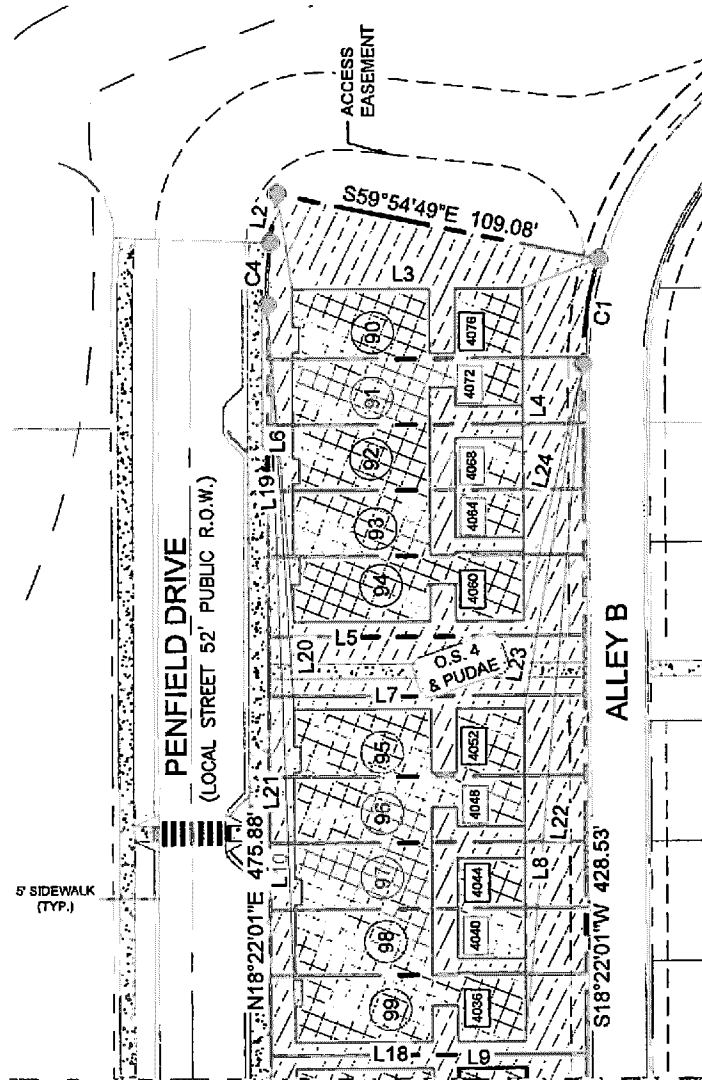
SHEET 2 OF 4

# **SITE PLAN FOR TOWNHOUSE PROPERTY REESE FARMS TOWNHOMES**



## **LEGEND**

-  TOWNHOME UNIT
-  PUBLIC RIGHT OF WAY
-  PRIVATE ELEMENT
-  IRON PIN SET



## **Parcel Line Table**

Line #	Length	Direction
L2	16.29'	N26°40'28"E
L3	45.76'	S71°37'04"E
L4	111.32'	S18°21'59"W
L5	45.76'	N71°38'58"W
L6	35.43'	N18°21'59"E
L7	45.76'	S71°37'04"E
L8	111.32'	S18°21'59"W
L9	22.34'	N71°38'01"W
L10	35.43'	N18°21'59"E
L18	45.76'	S71°37'04"E
L19	106.59'	S13°56'30"W
L20	135.84'	S14°53'45"W
L21	247.07'	S16°27'33"W
L22	227.08'	S23°26'22"W
L23	116.82'	S28°16'53"W
L24	87.86'	S31°34'39"W

CONTAINING 52916 SQUARE FEET OR  
1.21 ACRES MORE OR LESS

## **Curve Table**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	35.87'	122.00'	16° 50' 42"	S26° 47' 22"W	35.74'
C4	20.71'	199.00'	5° 57' 44"	N21° 20' 53"E	20.70'

JOEY C. WILSON II,  
TN RLS NO. 2069

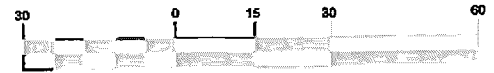


**WILSON & ASSOCIATES, P.C.**  
Engineering/Surveying/Environmental

WA PROJECT NO. 11318

SHEET 3 OF 4

# **SITE PLAN FOR TOWNHOUSE PROPERTY REESE FARMS TOWNHOMES**



GRAPHIC SCALE: 1" = 30'

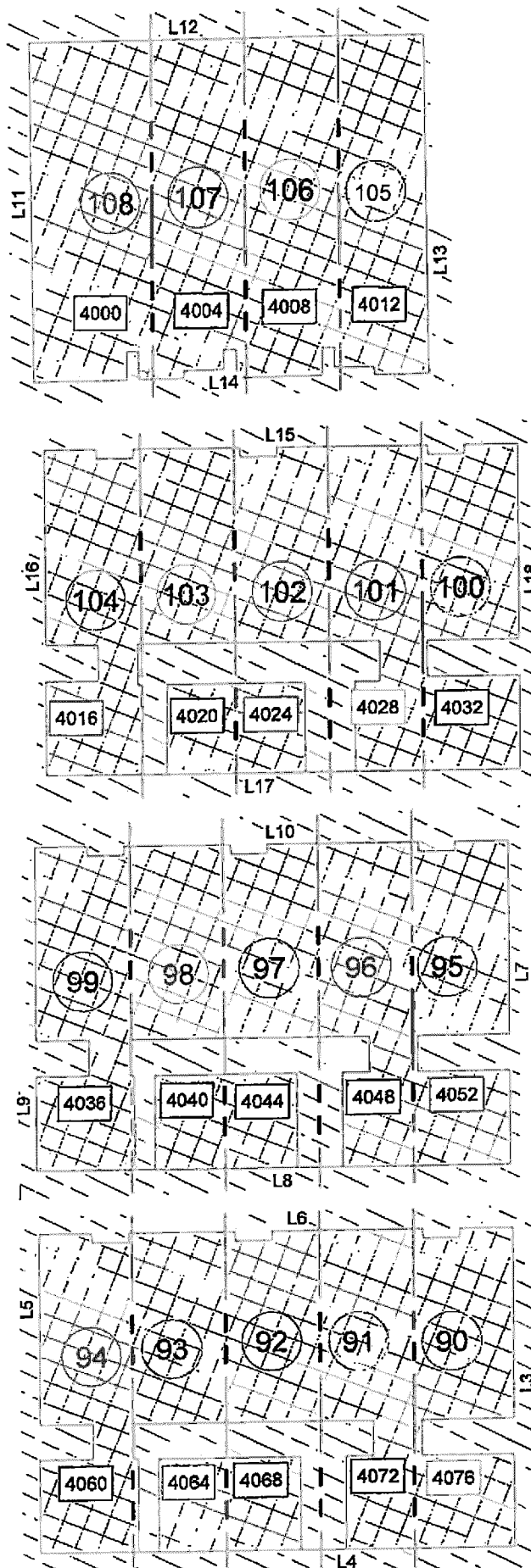
## **LEGEND**



TOWNHOME UNIT



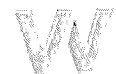
PRIVATE ELEMENT



Parcel Line Table

Line #	Length	Direction
L3	45.76'	S71°37'04"E
L4	111.32'	S18°21'59"W
L5	45.78'	N71°38'58"W
L6	35.43'	N18°21'59"E
L7	45.78'	S71°37'04"E
L8	111.32'	S18°21'59"W
L9	22.34'	N71°38'01"W
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L13	78.33'	S72°08'13"E
L14	9.38'	S17°53'08"W
L15	35.43'	N18°21'59"E
L16	45.78'	N71°38'58"W
L17	111.32'	S18°21'59"W
L18	45.76'	S71°37'04"E

JOEY C. WILSON II,  
TN RLS NO. 2089



**WILSON & ASSOCIATES, P.C.**  
Engineering/Surveying/Environmental

WA PROJECT NO. 11318

SHEET 4 OF 4

I, J. Trent Lehman, hereby make oath that I am a licensed attorney and/or the custodian of the original version of the electronic document tendered for registration herewith and that this electronic document is a true and exact copy of the original document executed and authenticated according to law on 7/2/24 (date of document).

  
Affiant Signature

7/3/24  
Date

State of Tennessee  
County of Williamson

Sworn to and subscribed before me this 3rd day of July, 2024.

  
Notary's Signature

MY COMMISSION EXPIRES: 9/21/25

Notary's Seal (if on paper)

